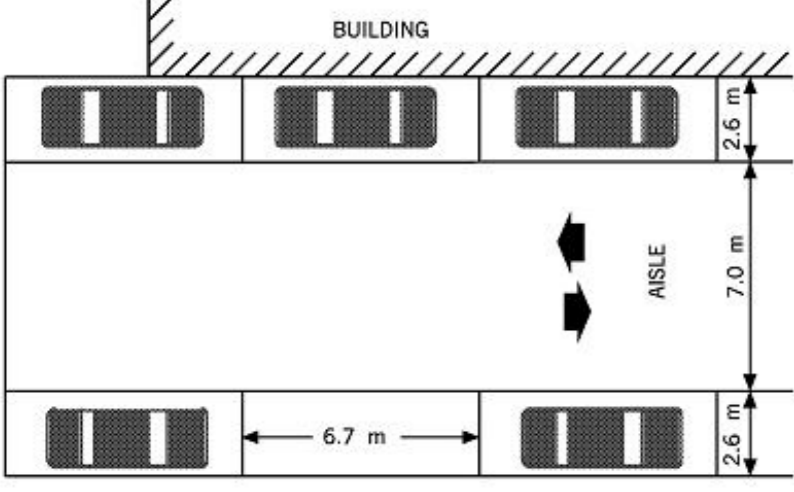
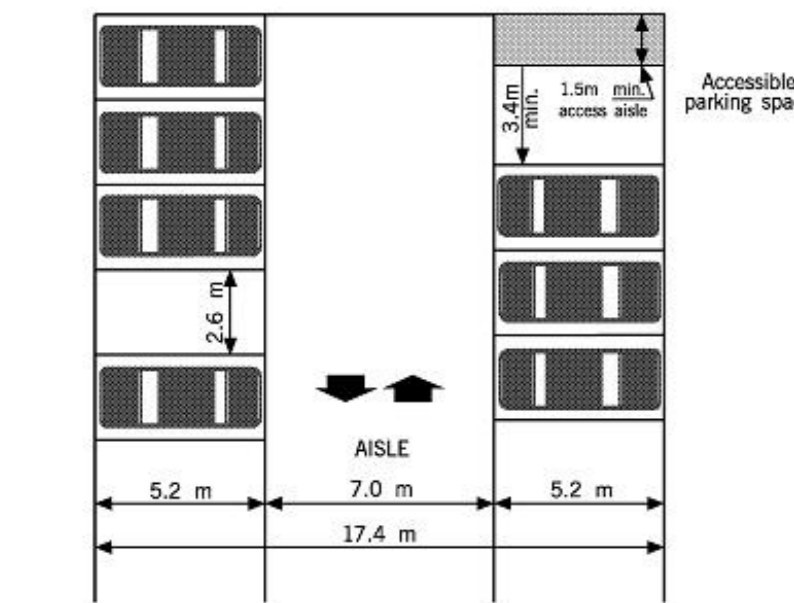


ALL PARKING SPACES COMPLY WITH ILLUSTRATION NO. 15

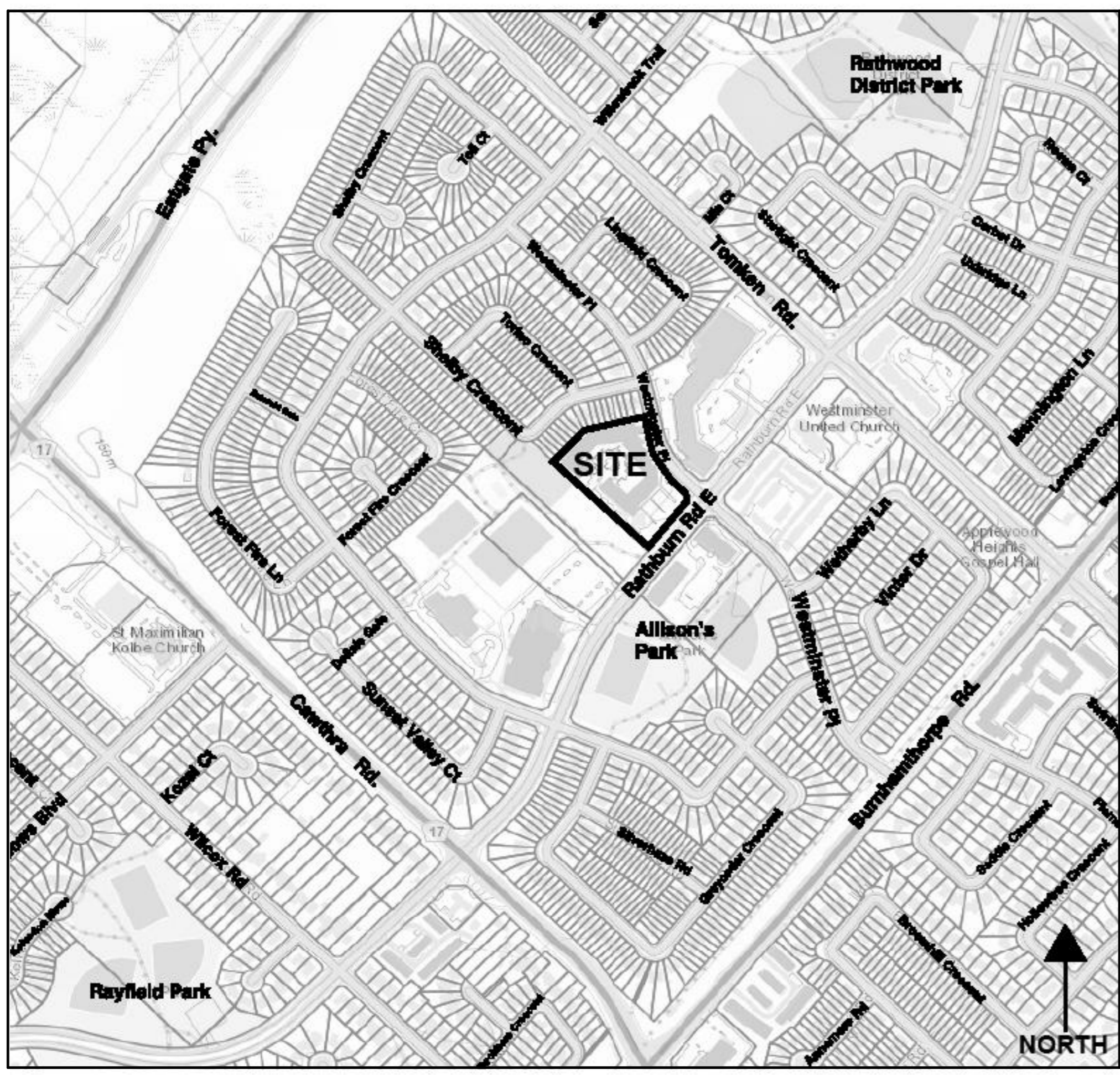
PARALLEL PARKING



TYPICAL PARKING

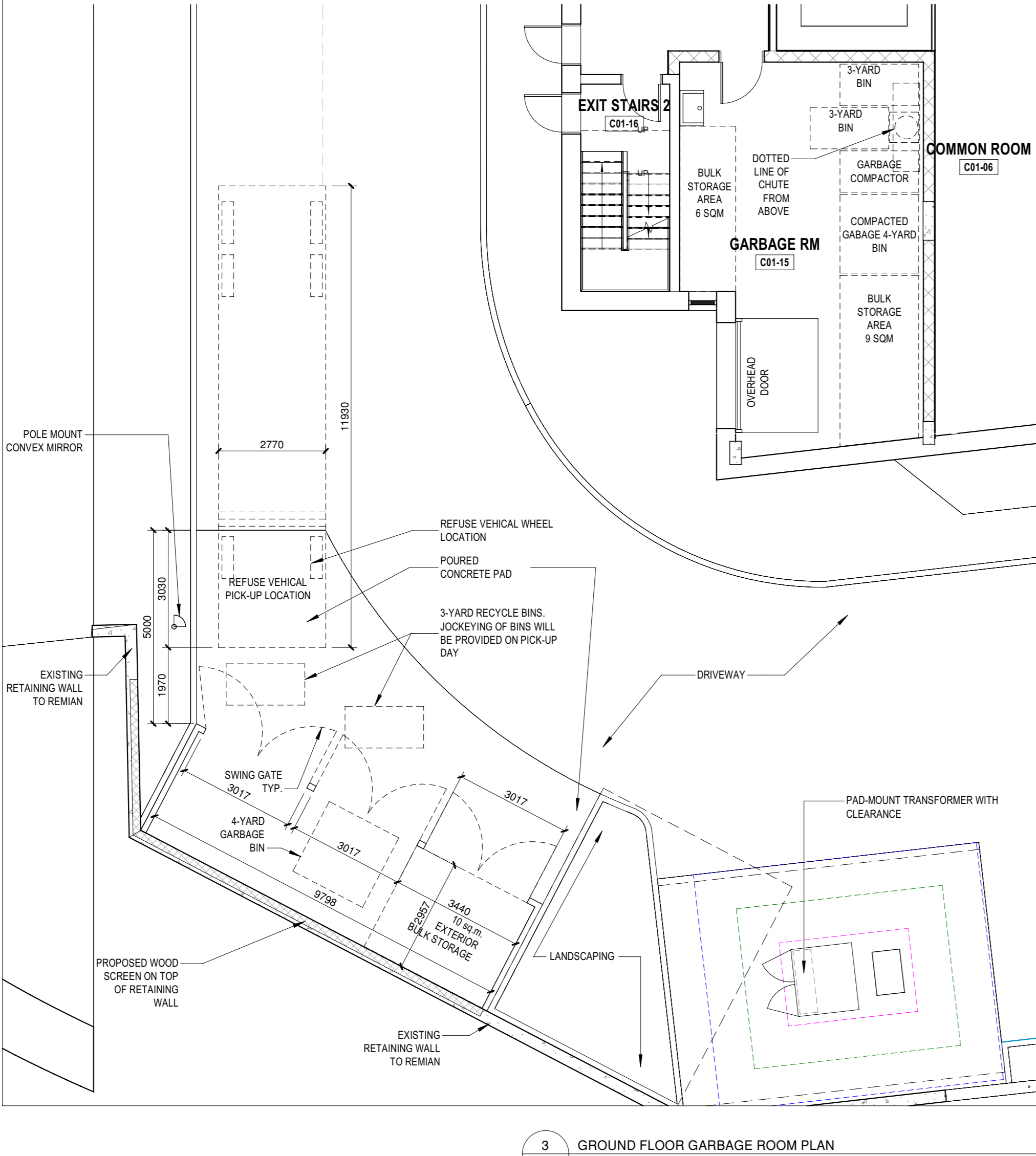


ALL PARKING SPACES COMPLY WITH ILLUSTRATION NO. 8



Key Plan

WASTE MANAGEMENT BIN REQUIREMENT CALCULATION
 RECYCLABLE BIN @ ONE 3 YRD BIN PER 45 DWELLING UNITS
 70 UNITS = 1.56 BINS TWO 3 YARD BINS WILL BE PROVIDED
 COMPACTED GARBAGE BIN @ ONE 4 YRD BIN PER 72 DWELLING UNITS
 70 UNITS = 0.97 BIN ONE 4 YARD BIN WILL BE PROVIDED



GROUND FLOOR GARBAGE ROOM PLAN A003 1 - 100

TREE PROTECTION NOTES:

The applicant is responsible for ensuring that tree protection hoarding is maintained throughout all phases of demolition and construction in the location and condition as approved by the Planning and Building Department. No materials (building materials, soil, etc.) may be stockpiled within the area of hoarding. Failure to maintain the hoarding as originally approved or the storage of materials within the hoarding will be cause for the Letter of Credit to be held for two years following completion of all site works. Hoarding must be inspected prior to the removal of any tree hoarding from the site.

Owner's Signature: _____
 Date: _____

FIRE ACCESS ROUTE:

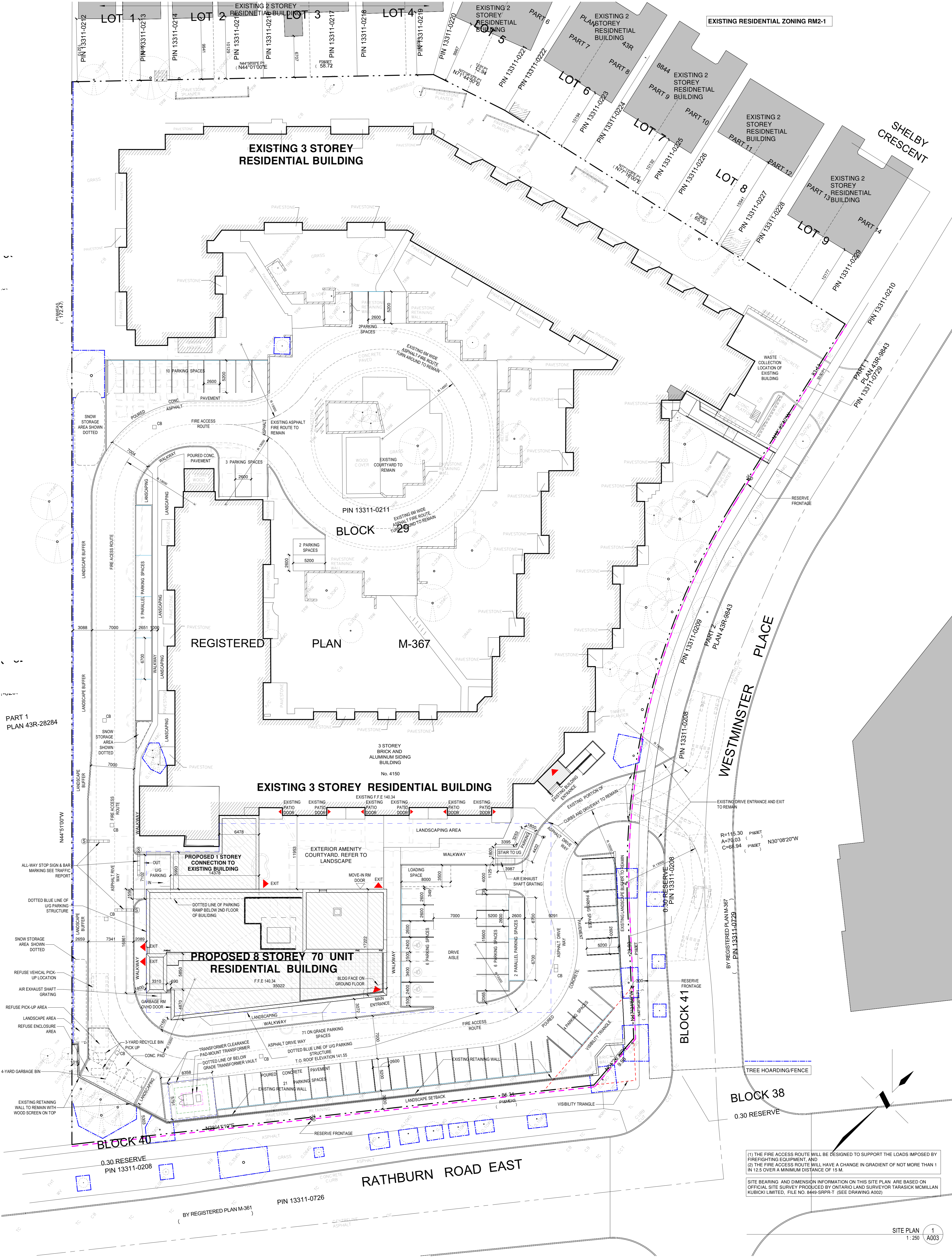
- The fire access route will be designated per the City's fire access route by-law.
- The fire access route will be designed to support the loads imposed by firefighting equipment, and
- The fire access route will have a change in gradient of not more than 1 in 12.5 over a minimum distance of 15 m.

ACCESSIBLE (BARRIER-FREE) PARKING:

- Locations of accessible parking are indicated with accessible (barrier-free) symbol on the site plan. These parking spaces will be signed as per parking By-Law #10-2016.
- If final curves of asphalt paving is delayed, temporary lift of asphalt at ramps or curb cuts to provide barrier-free access will be installed.

STANDARD NOTES:

- I hereby certify that this drawing confirms in all respects to the site development plans Architect or Engineer's Signature (if applicable) and Professional seal.
- The City of Mississauga requires that all working drawings submitted to the Building Division as part of an application for the issuance of a building permit shall be certified by the architect or engineer as being in conformity with the site development plan as approved by the City of Mississauga.
- All exterior lighting will be directed onto the site and will not intrude upon the adjacent properties.
- All roofing mechanical units shall be screened from view by the applicant.
- Parking spaces reserved for people with disabilities must be identified by a sign, installed at the applicant's expense, in accordance with the By-law Requirements and Building Code Requirements.
- The applicant will be responsible for ensuring that all plans conform to Transport Canada's restrictions.
- Grades will be met with a 3% maximum slope at the property lines and within the site.
- All damaged areas are to be reinstated with topsoil and seed prior to the release of securities.
- Signage shown on the site development plans is for information purposes only. All signs will be subject to the provisions of Sign by-law 0054-2002, as amended, and a separate sign application will be required through the Building Division.
- Any fencing adjacent to municipal lands is to be located 15 cm (6.0 in.) inside the property line.
- Only "shielded" lighting fixtures are permitted for all development, except for detached and semi-detached dwellings within 60 m (196.8 ft.) of a residentially zoned property and must conform to the Engineer Certified Lighting Plan.
- The Engineer Certified Lighting Plan must be signed by the consulting Engineer.
- The Owner covenants and agrees to construct and install "shielded" lighting fixtures on the subject lands, in conformity with the Site Plan and Engineer Certified Lighting Plan to the satisfaction of the City of Mississauga.
- The applicant will be responsible for ensuring that all plans conform to Transport Canada's restrictions.
- Where planting is to be located in landscaped areas on top of an underground parking structure, it is the responsibility of the applicant to arrange the coordination of the design of the underground parking structure with the Landscape Architect and the Consulting Engineering. Underground parking structures with landscaping area to be capable of supporting the following loads:
 - 15 cm of drainage gravel plus 40 cm topsoil for sod
 - 15 cm of drainage gravel plus 60 cm topsoil for shrubs
 - 15 cm of drainage gravel plus 90 cm for trees
- Prefabricated sheet drain system" with a compressive strength of 1003 Kpa plus 40 cm topsoil for sod
 - Prefabricated sheet drain system" with a compressive strength of 1003 Kpa plus 60 cm topsoil for shrubs
 - Prefabricated sheet drain system" with a compressive strength of 1003 Kpa plus 90 cm topsoil for trees
 - Terracram 900 or approved equal
- The structural design of any retaining wall over 0.6 m in height or any retaining wall located on a property line is to be shown on the Site Grading plan for this project and is to be approved by the Consulting Engineer for the project.
- Continuous 15 cm high barrier type poured concrete curbing will be provided between all asphalt and landscaped areas throughout the site.
- All utility companies will be notified for locations prior to the installation of the hoarding that lies within the site and within the limited of the City boulevard area.
- All excess excavated materials will be removed from the site.
- There are no existing or proposed easements on the property (if applicable).
- At the entrances to the site, the municipal curb and sidewalk will be continuous through the driveway and a curb depression will be provided for each entrance.
- All proposed curbing at the entrances to the site is to stop at the property line or at the municipal sidewalk.
- The portions of the driveway within the municipal boulevard will be paved by the applicant.
- The existing drainage pattern will be maintained.
- All Utility Companies will be notified for locations prior to the installation of the hoarding that lies within the site and within the limits of the City boulevard area.
- The applicant will be responsible for the cost of any utilities relocations necessitated by the Site Plan.
- Should the installation of below ground services require hoarding to be removed, Planning and Building staff are to be contacted prior to the commencement of such work. Should an alternative service route not be possible, staff will inspect and document the condition of the vegetation and servicing installation in order to minimize damage to the vegetation.

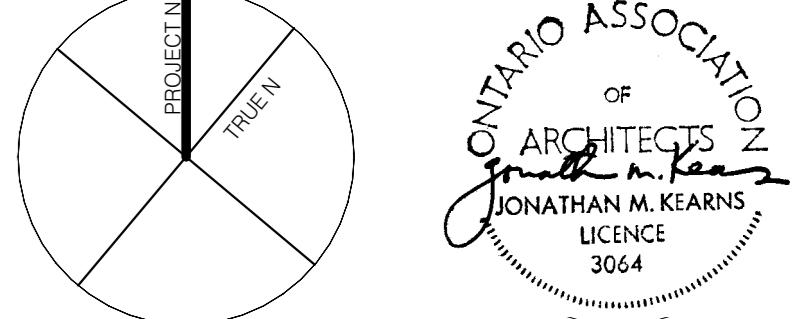


(1) THE FIRE ACCESS ROUTE WILL BE DESIGNED TO SUPPORT THE LOADS IMPOSED BY FIREFIGHTING EQUIPMENT, AND (2) THE FIRE ACCESS ROUTE WILL HAVE A CHANGE IN GRADIENT OF NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15 M.

SITE BEARING AND DIMENSION INFORMATION ON THIS SITE PLAN ARE BASED ON OFFICIAL SITE SURVEY PROVIDED BY ONTARIO LAND SURVEYOR TAVARICK MCKILLAN (KUBICKI LIMITED, FILE NO. 849-SRPRT) (SEE DRAWING A002)

KEARNS MANCINI ARCHITECTS

67 Mowat Avenue, Suite 432
 Toronto, Ontario, M6K 3E3
 T 416.536.5666 F 416.536.8626
 www.kmna.com



The General Contractor shall check and verify all dimensions and report all errors and omissions. Do not scale drawings. These documents shall only be used for the purposes indicated below, when as noted and related by the Architect.

Certificate of Practice No.: 1796
 Architect's BCIN: 3064

SP#	Permit	Tender	Contract	Construction

No.	Description	Chk'd	Date
1	Submit for Pre-application Review	KMAM	March 23, 2021
2	Issued For Client Use	KMAM	March 22, 2022
3	ISSUE FOR RE-ZONING CO-ORDINATION	KMAM	APRIL 4, 2022
4	SITE STATISTICS UPDATE	KMAM	SEPT 7, 2022
5	SITE PLAN REVISIONS	KMAM	JAN 13, 2023
6	CORNER ENTRANCE UPDATE	KMAM	JAN 27, 2023
7	ISSUED FOR RE-ZONING APPLICATION	KMAM	MARCH 3, 2023
8	KEY PLAN ADDED	KMAM	MAY 22, 2023
9	WASTE MANAGEMENT DESIGN REVISION	KMAM	DEC 22, 2023
10	ISSUED FOR RE-ZONING RESUBMISSION	KMAM	JAN 19, 2024
11	ISSUED FOR RE-ZONING RESUBMISSION	KMAM	APR 04, 2024
12	ISSUED FOR RE-ZONING RESUBMISSION	KMAM	JUNE 5, 2024
13	Consultant Drawings	KMAM	JAN 23, 2025
14	ISSUED FOR CLASS B ESTIMATE	KMAM	FEB 18, 2025
15	ISSUED FOR CO-ORDINATION	KMAM	MAR 25, 2025
16	ISSUED FOR SITE PLAN APPLICATION	KMAM	APR 16, 2025

City Application Number: ()

Project Name: Westminster St. Luke's Seniors Affordable Housing

Type of development: Residential

Municipal address: 4150 Westminster Place, Mississauga, Ontario

Legal description of the property: (BLK 29 PLAN M-367 City of Mississauga, Regional Municipality of Peel)

Applicant: SHS Consulting 77 Bloor Street West, Toronto, Ontario Tel: 905-763-7555

Owner: Saint Luke's Divine Senior Residence Corporation 4150 Westminster Place Tel: 905-273-3676 Ext 203

ZONING STATISTICS:

Building Tenure: Rental
 Zoning: RA-1 (BLK 29 PLAN M-367 City of Mississauga, Regional Municipality of Peel)
 Lot area: 1,837.02 (ha) 16370.21 sq.m
 Frontage: 92.124 m (Rathburn); 131.228 m (Westminster)
 Lot coverage: Existing 4,748.7 sq.m (29.01%), New 797.26 sq.m (4.87%)

GFA: 20,793.62 sq.m
 Landscaped area proposed: 5,754.13 m²
 Landscaped buffer width required: 3.0m
 Paved area: 3,515.98 sq.m
 Parking spaces required: 221
 Parking spaces proposed: 113
 Accessible parking spaces required: 3
 Accessible parking spaces proposed: 6
 Number and types of units: 56 one bedroom, 14 one-bedroom barrier-free
 Suite sizes (m²): 49 sq.m to 50 sq.m

A) Landscape area has been reduced from 38.43% to 37.44%
 B) Additional indoor amenity space in the amount of 596.26m² is proposed. 596.26m²/70 units provides an additional 8.1 m² per unit.

Project: Westminster New Seniors Affordable Residence

4150 Westminster Place
 Mississauga ON

Scale: As Indicated
 Date Plotted: 4/21/2025 9:58:51 AM
 Drawn: P/R
 Checked: A/B

Project No: 25-040
 Drawing No: _____

Site Plan
A003